



INTERNATIONAL MARKET PLACE

HONOLULU, HAWAII

3rd LEVEL / GRAND LANAI
SUPPLEMENTAL RESTAURANT TENANT CRITERIA

17 SEPTEMBER 2015

JPRA ARCHITECTS



Taubman

TABLE OF CONTENTS

OVERVIEW	3
LANDLORD PROVIDED FEATURES	5
TENANT RESPONSIBILITIES	6
ENTRY PORTALS	8
STOREFRONTS	11
LANAI FLOORING	15
RETRACTABLE LANAI ROOF SYSTEM	16
RETRACTABLE LANAI SYSTEM CLADDING	18
TENANT SPACE 302 CRITERIA	20
LANAI GENERAL CRITERIA	24
ROOFTOP UNIT SCREENING	26
SIGNAGE CRITERIA	27



conceptual view of Grand Lanai level

INTERNATIONAL MARKET PLACE

“Experience the revitalized International Market Place, celebrate the history of the land and its people and perpetuate the legacy of the Queen in the gathering place of Waikiki.”

Taubman



595 DESIGN

JPra ARCHITECTS

OVERVIEW

INTRODUCTION

The purpose of the 3rd Level/Grand Lanai Supplemental Restaurant Criteria is to provide food and beverage tenants with the background information necessary to design the exterior expression of the leased space. This document is descriptive rather than being prescriptive - while there are features and aspects of the design that every tenant must address in their design, tenants are expected to make their spaces reflect their brands while respecting the sense of place established by the surrounding environment, both natural and man-made.

We seek to ensure that each restaurant design is able to take advantage of every available nuance to optimize their restaurant environment. The design must evoke a sense of personality and foster your brand while creating an image appropriate to the "outdoor" Hawaiian context. With these qualities, the restaurant also must provide a complimentary, stimulating and comfortable environment for the customer. Food and beverage tenants are encouraged to provide rich visual textures by contrasting light and shadows on surfaces and, where applicable, use elements with a recognizable symbolic relationship to Hawaii's environment, people, or culture.

Note: Restaurant tenants must refer to the project wide Tenant Criteria for additional guidelines regarding the design of their spaces.

PROJECT VISION

DISCOVER THE REVITALIZED CENTER OF WAIKĪKĪ

International Market Place (IMP) is new world-class retail, entertainment, cultural and educational core for Waikiki - reinvented to respond to the desires of today's urban resort destination visitors, expressing a restored and recaptured soul recalling the International Market Place's iconic, nostalgic past. IMP will be a unique and signature gathering place for locals and visitors alike.

THE GRAND LANAI

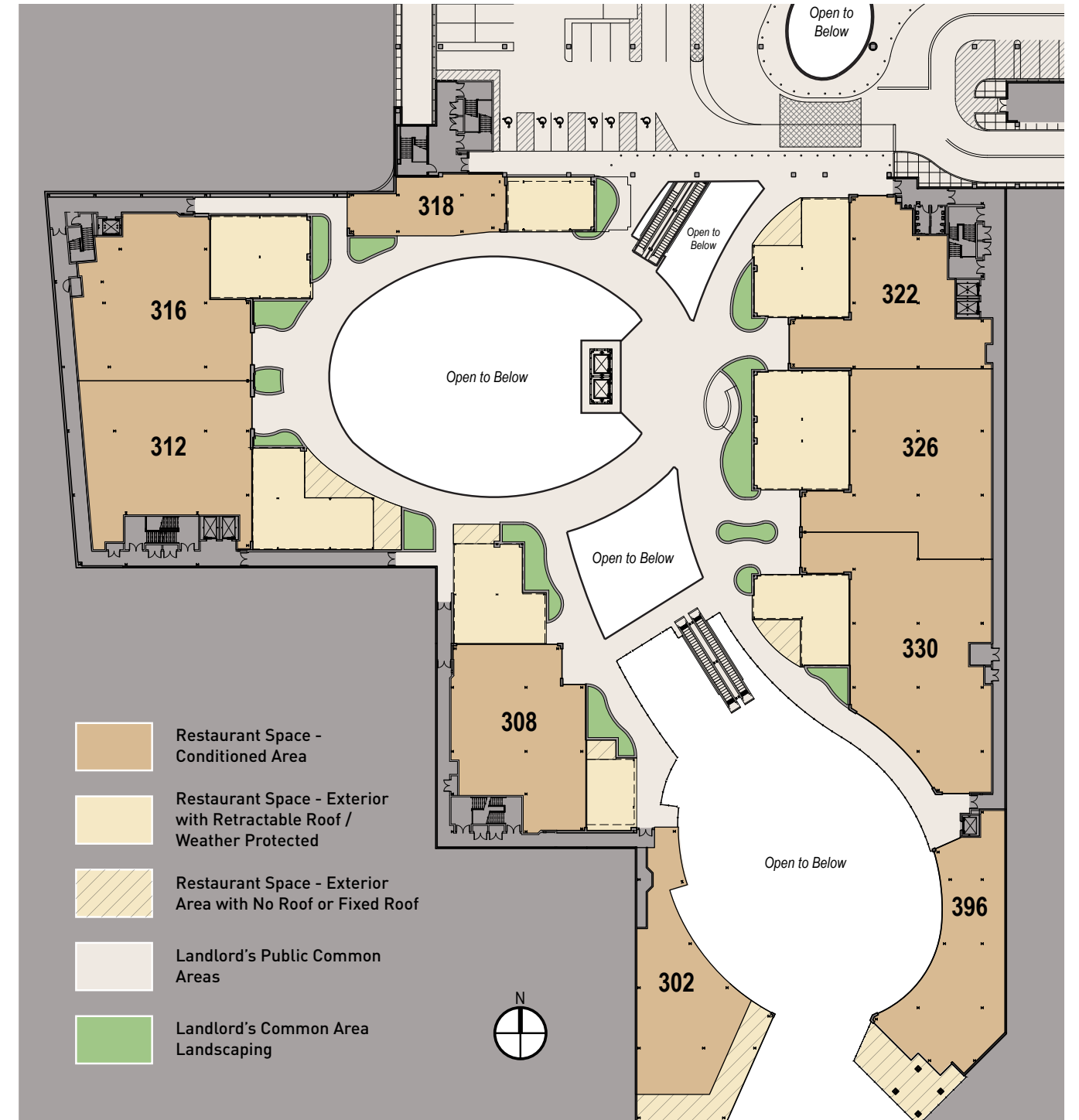
Nestled in the treetops at the third level of International Market Place, the Grand Lanai provides tenants with the opportunity to create truly distinctive spaces and take advantage of Hawaii's enviable climate and the natural features that distinguish IMP from the typical urban center. Towards this end, great care has been taken throughout the redevelopment of International Market Place (IMP) to design the Grand Lanai level to enable tenants to fashion seamless indoor/outdoor rooms that function throughout the year. With views into the tops of the banyan and monkey pod trees, and surrounded by the lushly landscaped common area, these weather-protected outdoor rooms afford diners an exceptional destination food and beverage experience in the heart of Waikiki.

The unconventional infrastructure being provided to tenants include a self-supporting, retractable roof system over most of the outdoor dining spaces, enabling them to be fully enjoyed in inclement weather or to provide shade with the touch of a button. These retractable roofs are custom manufactured specifically for International Market Place by CorradiUSA and will be mounted to a simple steel framework allowing food and beverage tenants to personalize the appearance of the Lanai area.

Additional steps that have been taken to provide a flexible framework within which food and beverage tenants can create their brand expression include recessing the floor slab at the Lanai area to allow the restaurant flooring to flow seamlessly from indoors to outside. This flexibility also allows the ability to create wide open storefronts. Food and beverage tenants are strongly encouraged to take full advantage of all the opportunities afforded to activate their space.

GOALS

The intent of these guidelines is to provide food and beverage tenants with an overview of the International Market Place project character, and how tenants are anticipated to complement that character through the use of quality designs, materials and execution.



diagrammatic plan of the Grand Lanai level

OVERVIEW

These guidelines are meant to foster imaginative design solutions that reflect a genuine Hawaiian sense of place and contribute to the overall atmosphere of the International Market Place with an emphasis on the Third Level Grand Lanai.

The ideas and imagery presented in this package are intended as a "kit of parts and series of ideas" that may guide the design of the individual restaurants featured on the Grand Lanai. In the following pages, restaurant build-out examples are provided for general reference only. These examples use typical conditions and details to represent the full range of tenant conditions. Refer to the specific layouts and details as provided by the Landlord for additional information. Restaurants are encouraged to develop their own storefronts to evoke a sense of personality and individuality, provided that they maintain the intent of the guidelines defined in this package.

ELEMENTS

All food and beverage tenants must address the following elements in their design solutions. The extent and detailing of these elements will vary by location in accordance with the lease plans:

- Entry Portal
- Storefront (Lanai and Lease Line Walls)
- Lighting
- Signage
- Floor Plane (Exterior)
- Lanai (Covered and Open Air)

These elements are described in greater detail in the following pages.



conceptual view of Grand Lanai level

LANDLORD PROVIDED FEATURES

BASE BUILDING

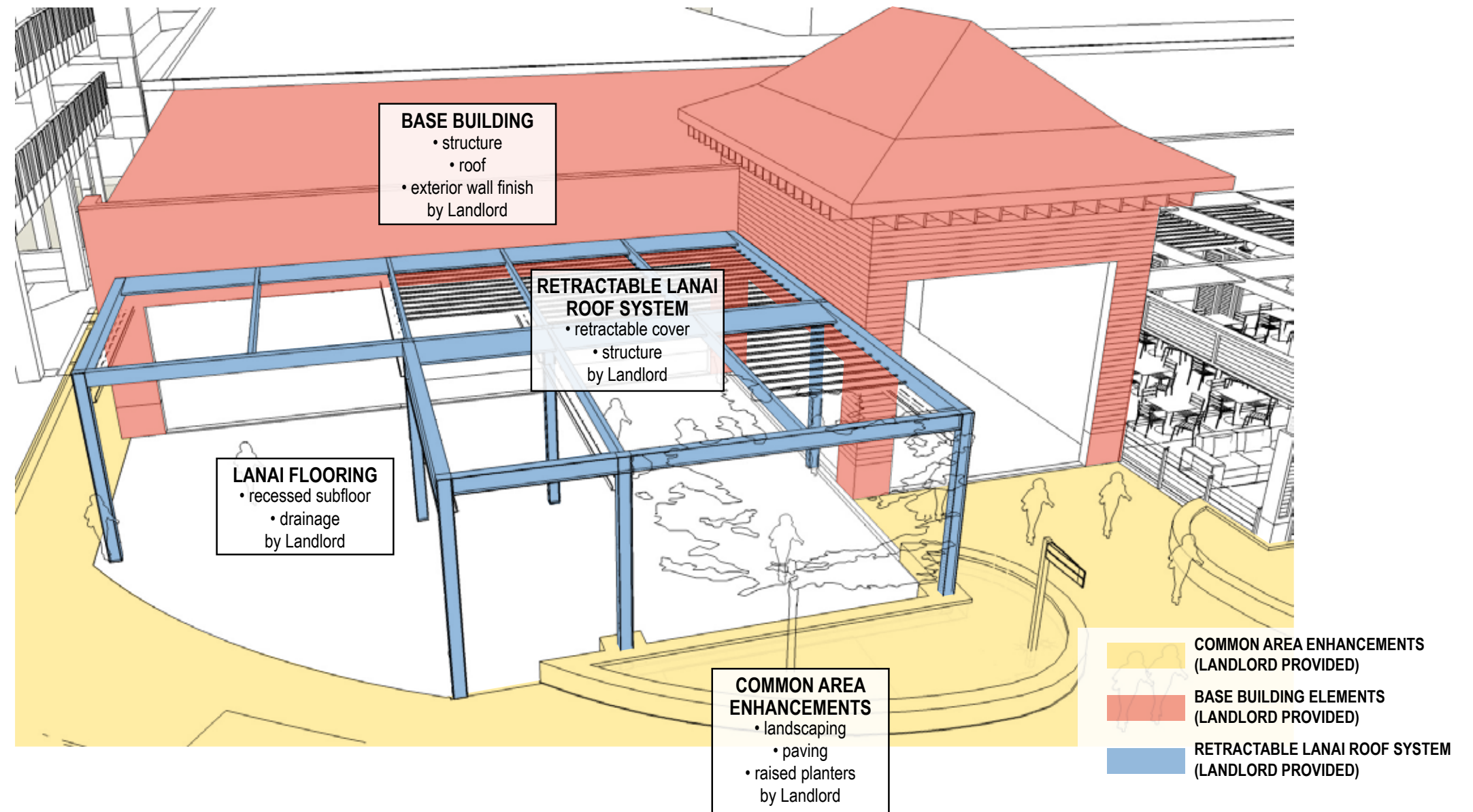
Landlord is providing the structure and roof closure up to the restaurant's exterior lease line, including finished fascia and exterior walls around the storefront and portal openings.

LANAI FLOORING

Landlord is providing the recessed concrete subfloor in the Lanai area. This subfloor will be sloped for drainage.

RETRACTABLE LANAI ROOF SYSTEM

Landlord is providing the operable roof and related structure in the food and beverage tenants' Lanai area.



conceptual base building model - space #322 shown, layout varies by location

TENANT RESPONSIBILITIES

STOREFRONT/ENTRY PORTAL

Food and beverage tenants shall provide their storefront system and glazing at their entry and along their exterior walls within Landlord's framework.

LANAI FLOORING

Food and beverage tenants shall provide all finished flooring materials within the Lanai set flush with the adjacent Landlord finish paving. Tenant Lanai flooring to be set on sleepers to allow drainage and proper cleaning and maintenance.

RETRACTABLE LANAI ROOF SYSTEM CLADDING

Food and beverage tenants shall clad the Lanai roof structure to compliment their storefront expression.

ADDITIONAL TENANT ELEMENTS (NOT SHOWN)

LIGHTING

Food and beverage tenants shall be responsible for all lighting within their Lanai and adjacent to their entry.

SIGNAGE

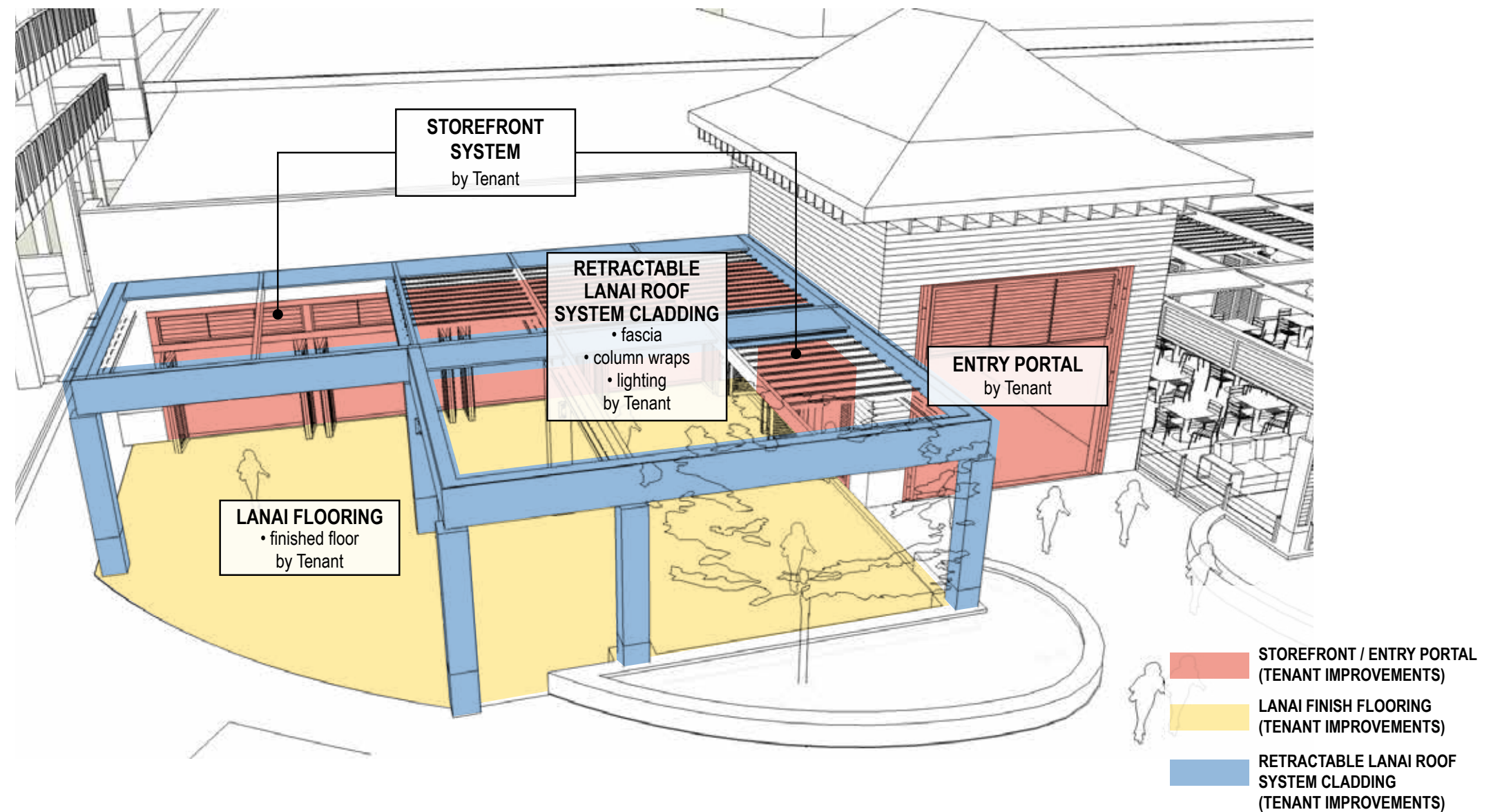
Food and beverage tenants shall be responsible for their sign program as described on pages 23-24 of this document.

FURNITURE, FIXTURES & AMENITIES

Food and beverage tenants shall be responsible for their furniture and amenities as described on pages 20-21 of this document.

ROOFTOP MECHANICAL SCREENING

Food and beverage tenants shall be responsible for screening their rooftop mechanical units as described on page 22 of this document.



conceptual base building model - space #322 shown, layout varies by location

LANAI TENANT BUILD-OUT EXAMPLE



base building by Landlord

Tenant's improvements to include:

- A** Storefront system within the framework provided by Landlord
- B** Fascia and column wraps to enclose Landlord's Lanai structural system
- C** Architectural canopy at the entry portal
- D** Lighting within the Tenant Lanai
- E** Furniture and amenities
- F** Signage
- G** Entry portal
- H** Railings to enclose the seating areas
- J** Finish flooring within the Lanai areas



conceptual tenant build-out example

ENTRY PORTALS

GENERAL

The tenant's entry expression should be an extension of their brand and provide a welcoming face to customers. Quality of the materials and fabrication are critical to the successful implementation of the tenant's entry expression. The tenant is encouraged to provide rich visual textures through the use of varying materials, plane changes and contrasting light and shadows on surfaces. The tenant should use elements with recognizable relationships to Hawaii's natural environment, people and culture.

The tenant shall be responsible for the design and construction of the entry portal, including the addition of any architectural canopy elements, storefront glazing and doors.

DOORS AND GLAZING

The tenant is encouraged to use swinging entrance doors that can be locked in an open position for their primary entry. Paired, over-sized doors are strongly recommended. Doors must be a minimum of 8'-0" tall and 6'-0" wide in all public entry conditions.

Materials and finishes must enhance the overall storefront character. Primary entry doors may be glass, wood with a natural finish, steel with a factory applied baked enamel finish, anodized aluminum or a combination thereof; and are to have hardware of a consistent finish and designed to complement the overall character of the tenant's storefront. All doors must have thresholds and door sweeps integrated into their design. Aluminum thresholds are not permitted.

Glazed areas of the entry must use clear glass at the pedestrian level. Glazing above the height of the top of the primary entry doors may be permitted to be tinted or opaque, subject to Landlord review and approval. Mirrored glazing and glazing with highly reflective films or tints will not be permitted in any application.

CANOPIES

The tenant is required to incorporate an architectural

canopy into the entry design. Canopies create contrast between solid and void surfaces, are energy efficient devices and are appropriate to Hawaii's climate. These features should be attractive, well maintained and well integrated with the overall storefront design.

Canopies must be constructed of durable, high quality materials with a permanent appearance; and maintain a minimum clearance to the floor of 9'-0". Canopies may project a maximum of 6'-0" from the tenant's lease line, must at a minimum be as wide as the tenant's entry portal, and must be fully supported from within the tenant's entry portal - columns outside the tenant's lease area will not be permitted. Awnings of any material are not permitted.

LIGHTING

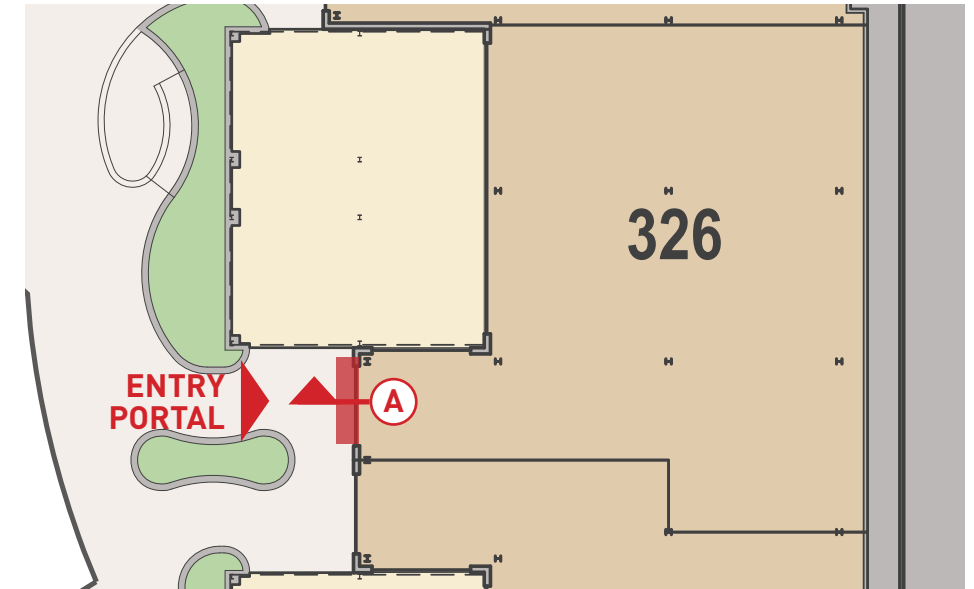
The lighting at the entry portal should be brighter than anywhere else on the tenant's storefront. The tenant is strongly encouraged to include decorative sconces flanking the entry portal.

The tenant's canopy may be used as an armature for additional lighting, such as downlights at the entry and/or accent lighting to wash the wall above. The tenant may also opt to shine lighting onto the underside of the canopy provided that the construction, material and finish is of a quality and appearance suitable for being highlighted.

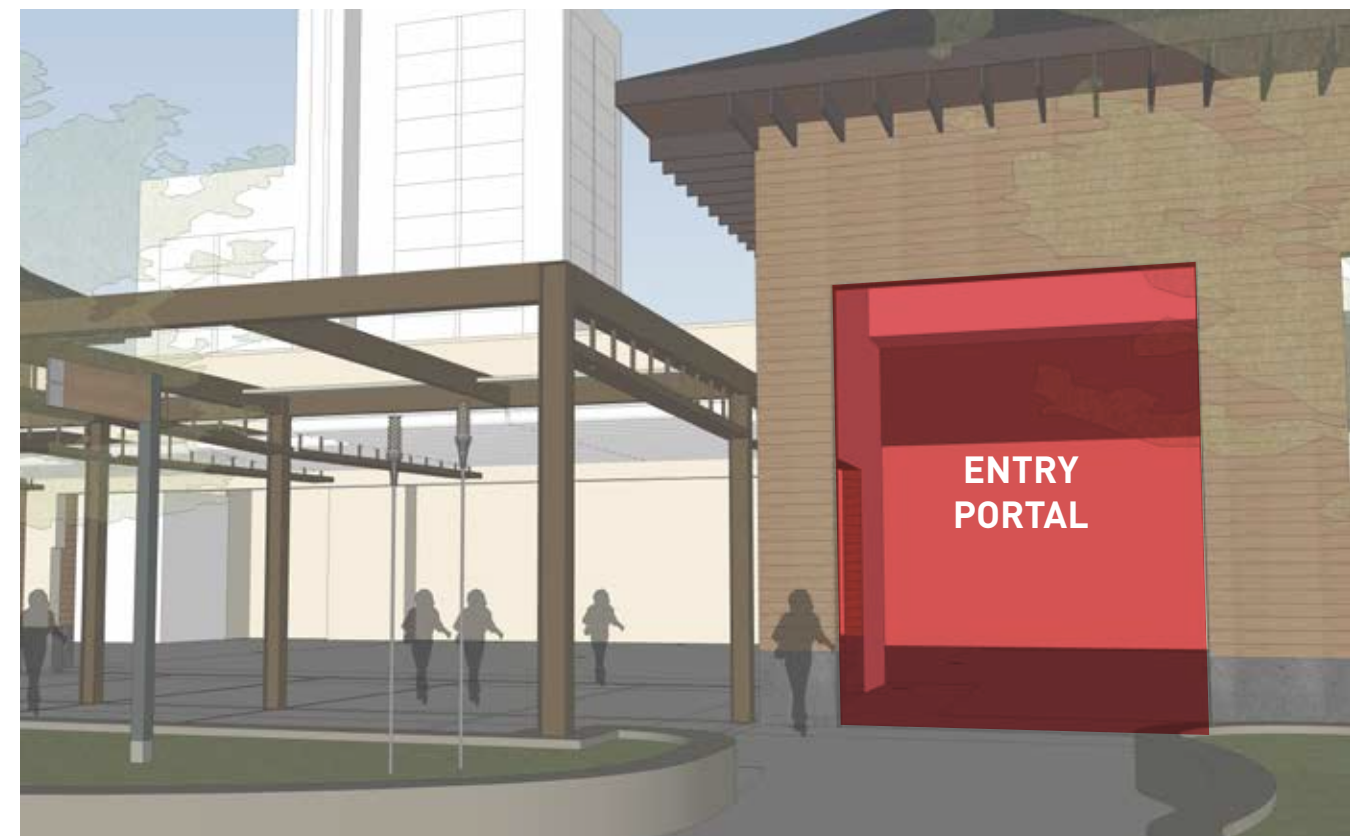
Additional lighting information can be found in the general criteria section of this document.

SIGNAGE

Signage legibility is important to consider relative to tenant's entry canopy. Consider sightline angles when positioning signage. Refer to the signage section of criteria for additional requirements.



tenant entry portal - varies by location



tenant entry portal - varies by location

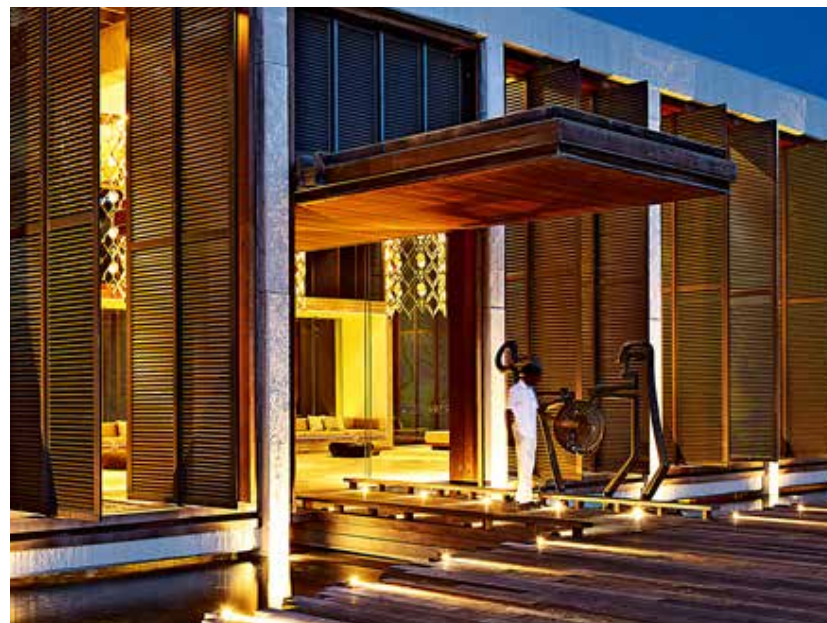
ENTRY PORTALS



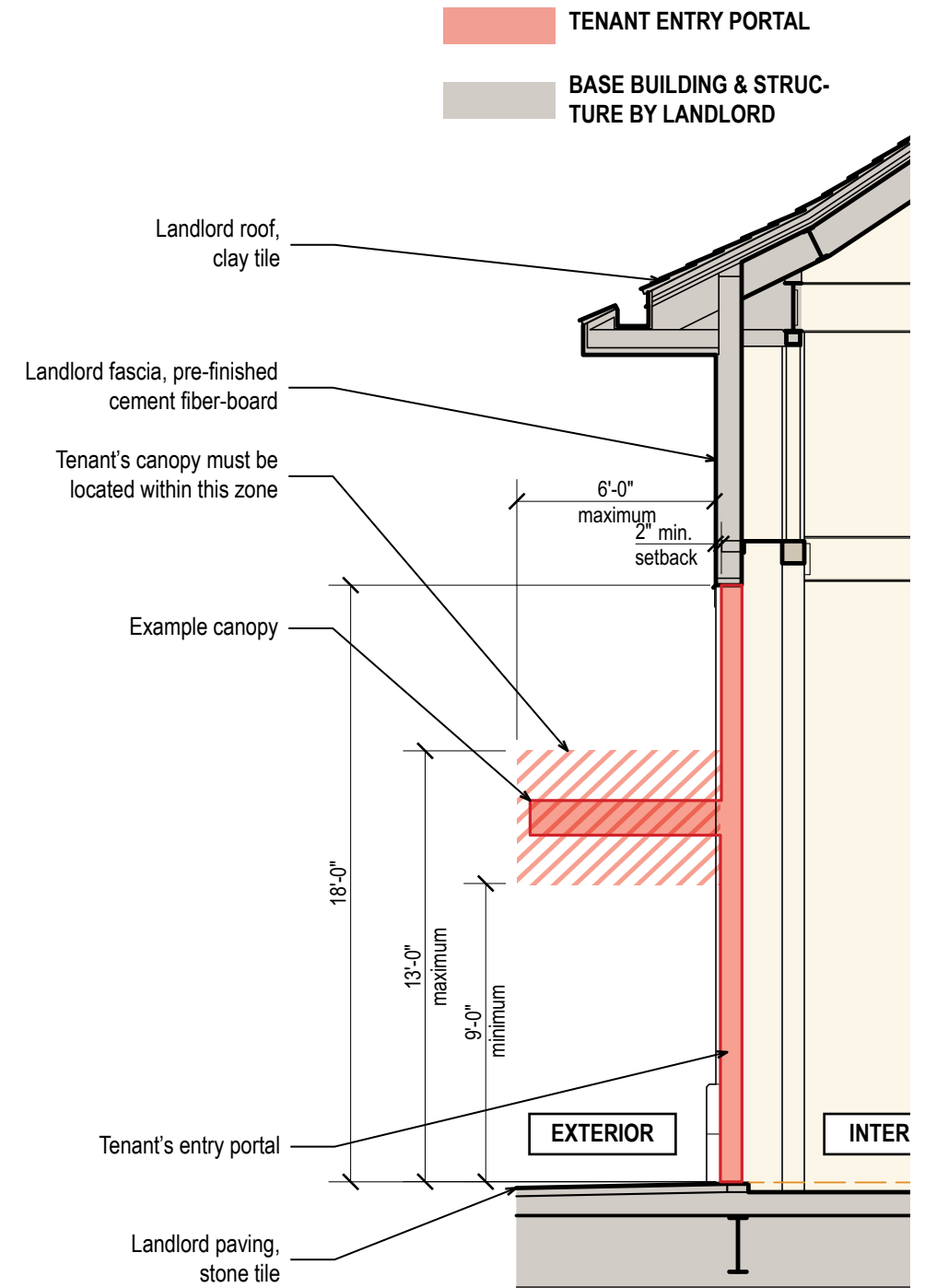
*conceptual portal example
wide open entry emphasizes the indoor-outdoor spatial quality;
good use of materials and lighting*



*conceptual portal example
high quality materials defining simple forms for a strong overall appearance;
detailing is referential to Asian architectural influences*



*conceptual portal example
louvers on the sidelights and transom are referential to Hawaiian
"plantation style" architecture; unique canopy statement*



Section A) entry portal diagram

ENTRY PORTALS



base building by Landlord

Tenant's improvements to include:

- A** Signage
- B** Architectural canopy at the entry portal
- C** Entry portal storefront system



conceptual tenant build-out example - entry portal

STOREFRONTS

GENERAL

Hawaii's temperate climate provides the tenant the opportunity to create indoor-outdoor spaces not usually afforded by typical environments. **The design of the tenant's storefront system should provide a maximum of openings to further blur the line between indoors and out.**

The finished fascia above the tenant's storefront will be provided by Landlord and shall not be altered in any way.

STOREFRONT REQUIREMENTS

A minimum of 75% of the tenant's linear storefront must be glazed, allowing views into and out of the restaurant area. Of this glazed storefront zone, a minimum of 50% must be operable, in the form of swinging (French) doors, folding or stacking closure systems (such as Nanawall or equal) or glazed "garage" type doors of a high quality and finish. Alternatively, operable windows may be set at counter or bar height to allow for bar-type service to exterior seating at the storefront. Where opaque walls surfaces are used, careful attention must be paid to the composition and materials so as to present a high quality appearance to the public.

Storefronts which abut public, Landlord-finished spaces or adjacent tenant spaces, and are not entry portals, have the following additional opportunities and requirements.

- Tenants in locations 330, 308 and 318 have significant storefront areas adjacent to the Landlord common area where canopies are encouraged. Canopies are not permitted to project into adjacent tenant Lanai areas. Refer to the Entry Portal section of these criteria for additional information. Awnings of any material are not permitted.
- All stacking or folding type storefront systems must stack within the tenant's lease space. Projections, tables and other intrusions into Landlord's common area that impede pedestrian flow are not permitted.

MATERIALS AND FINISHES

Materials and finishes for the storefront must en-

hance the overall restaurant character and be consistent in quality with the overall project. Framing for glazed areas may be wood with a natural finish, steel with a factory applied baked enamel finish, anodized aluminum or a combination thereof.

Glazed areas of the storefront less than 8'-0" above the finish floor must use clear glass. Glazing above this height may be permitted to be tinted or opaque, subject to Landlord review and approval. Mirrored glazing and glazing with highly reflective films or tints will not be permitted in any application.

Stone and/or wood veneer wainscoting, fascia, piers and accents are encouraged for opaque wall areas. Rainscreen systems, masonry, concrete and factory finished metals may be used for these applications as well, subject to Landlord review and approval. The tenant's fascia should incorporate layering, multiple materials, and/or varying (complimentary) finishes to provide visual interest. Exterior insulation and finish systems (EIFS) are not permitted.

LIGHTING

The lighting at the storefront should be decorative in nature, such as sconce lights mounted to columns, so as not to distract from views into the restaurant proper. All tenant lighting is to occur within the tenant's leasable area. Lighting extending beyond the lease line may be permitted with Landlord review and approval. Additionally, overhead table lighting may be mounted to the storefront for tables immediately adjacent to the storefront. (Refer to the Lanai section of this document for additional lighting options within this area.)

Lighting on the base building walls should be subdued except where needed to highlight special features or signs. The tenant may also use these walls for the placement of downlights to illuminate sidewalk areas if needed.

SIGNAGE

Signage legibility is important to consider relative to tenant's entry canopy. Consider sightline angles when positioning signage. Refer to the signage pages of these criteria for additional information.



operable storefronts to reinforce the indoor / outdoor connection



modern glazed garage door facade, 8' min. height



folding glass storefront design allows seating to spill outdoors



countertop height operable wall system (only at tenant Lanai)



natural wood louvered bi-fold doors with accent wall light fixtures



countertop height operable wall system (only at tenant Lanai)

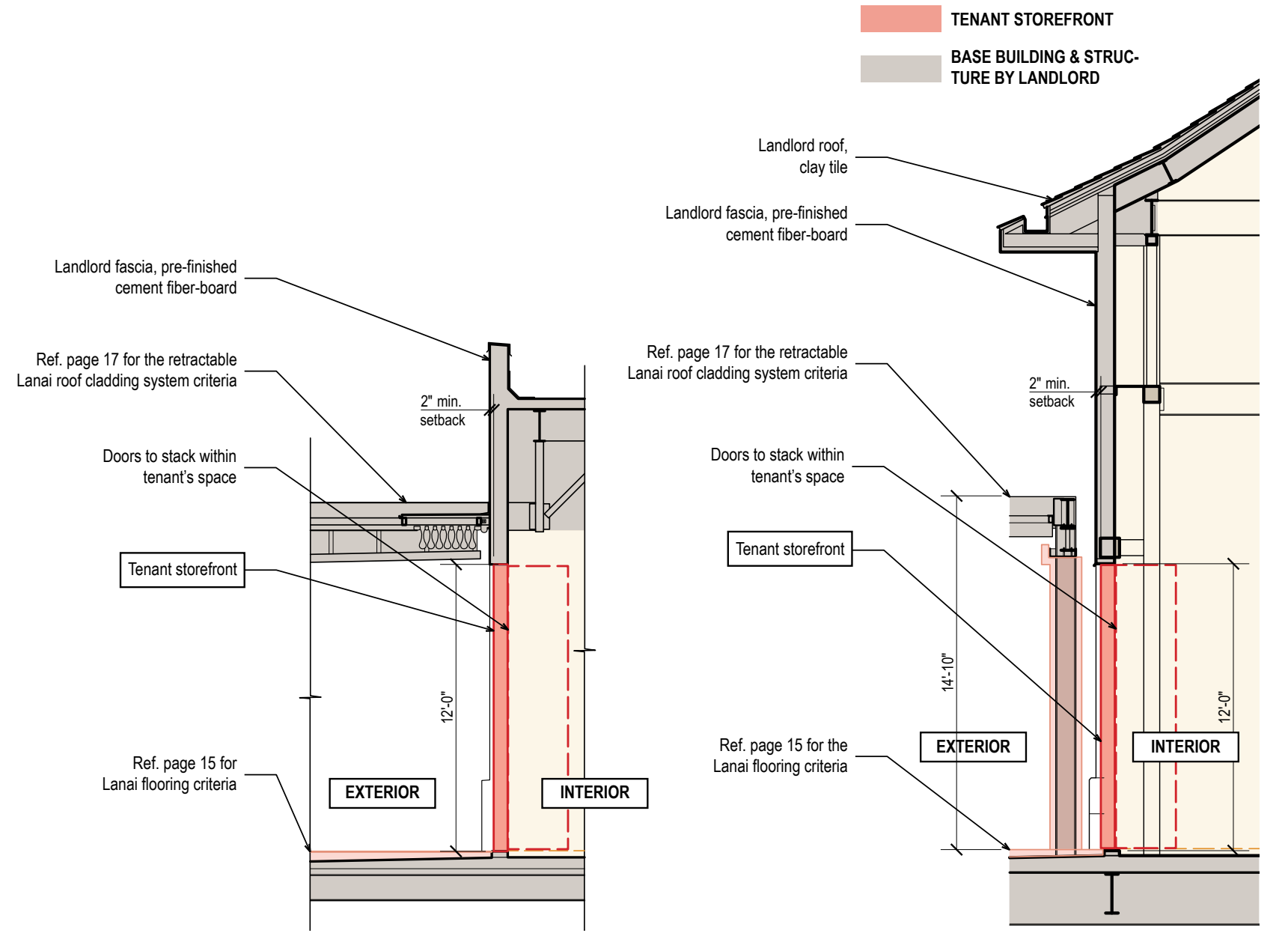
STOREFRONTS



tenant storefront abutting tenant Lanai - varies by location



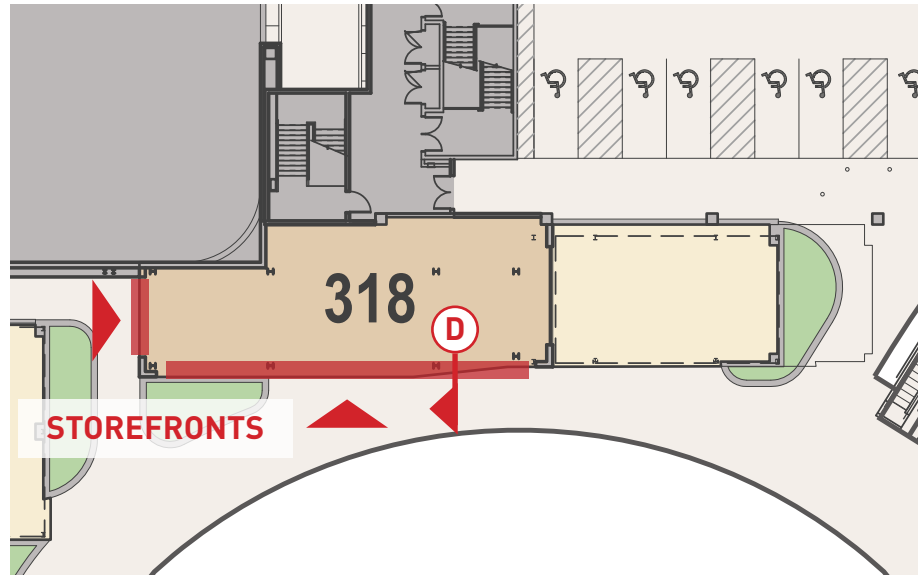
tenant storefront abutting tenant Lanai - varies by location



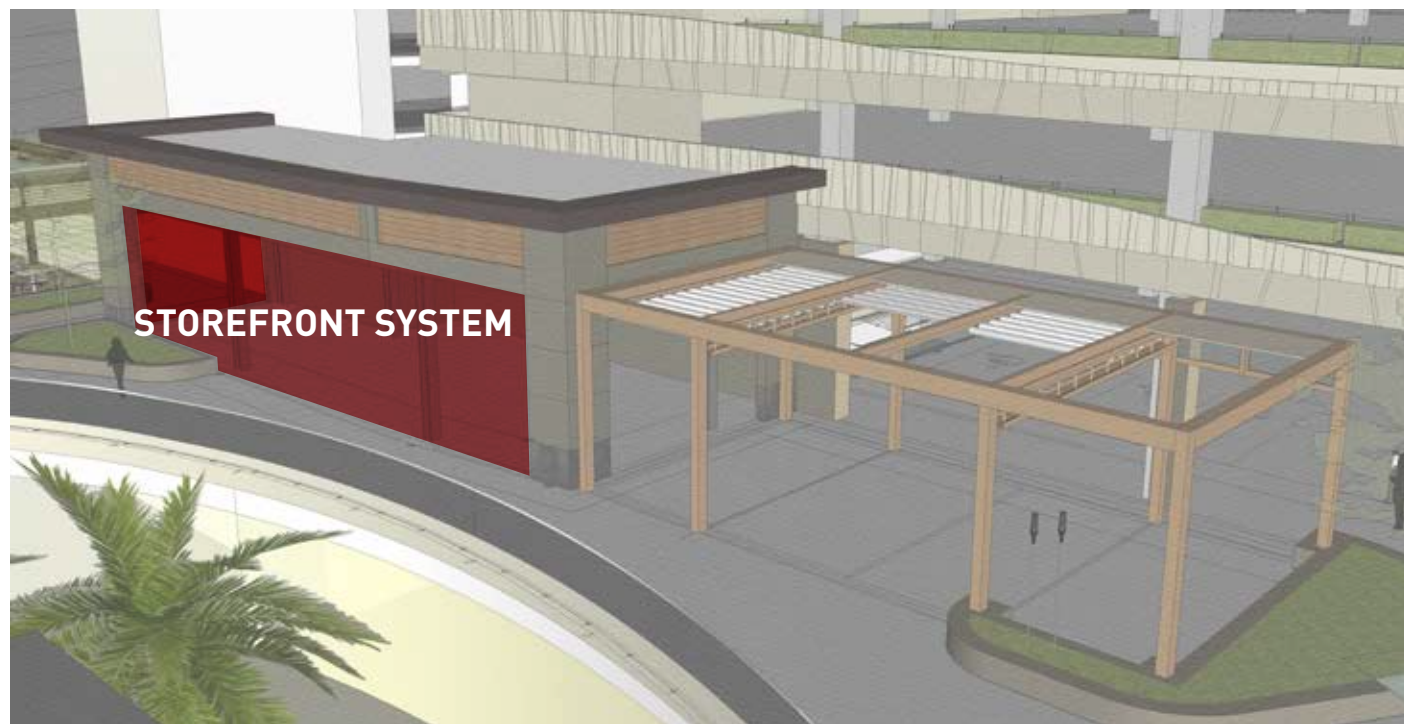
Section B) storefront section diagram - at Lanai

Section C) storefront section diagram - at vestibule

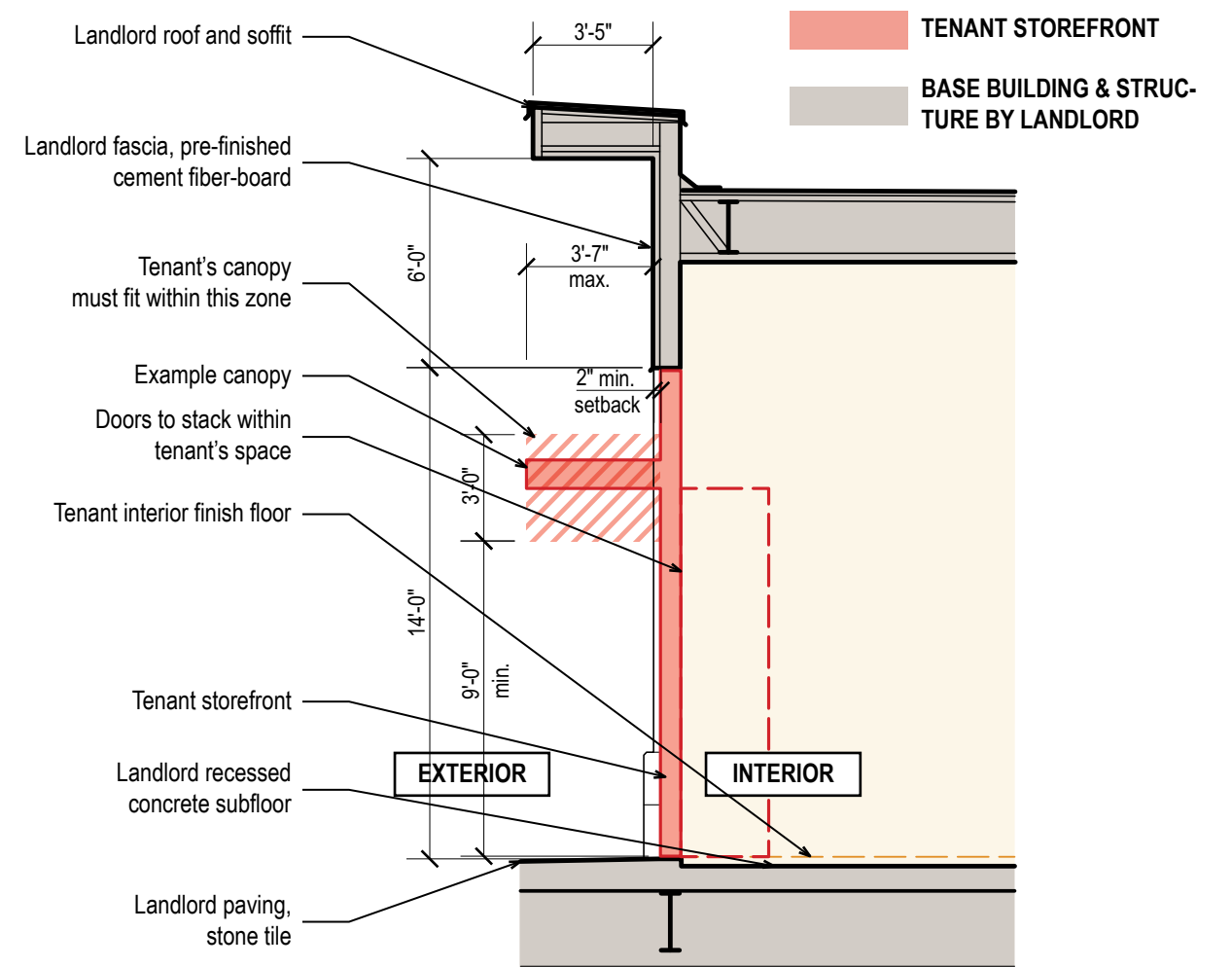
STOREFRONTS



tenant storefront abutting Landlord common area - varies by location



tenant storefront abutting Landlord common area - varies by location



Section D) storefront section adjacent to Landlord's common area - varies by location

STOREFRONTS



base building by Landlord

Tenant's improvements to include:

- A** Signage
- B** Storefront system (operable windows as shown optional for storefront adjacent to Landlord's common area)
- C** Entry portal storefront system
- D** Lighting, plant pots, seating and other amenities for waiting patrons (not shown)



conceptual tenant build-out adjacent to Landlord's common area

LANAI FLOORING

GENERAL

Landlord is providing a recessed concrete slab and drainage at all covered Lanai areas. The tenant shall be responsible for providing the finish floor materials in these areas in accordance with the following criteria.

FLOOR DECKING

Floor treatments should be designed and specified to reinforce the character of the restaurant concept and image. Landlord's concrete slab will be recessed to enable the tenant's decking to be set flush with the surrounding finished flooring. Decking materials must be set on sleepers or pedestals to allow for proper drainage. Sand and/or mortar set pavers are not permissible. Acceptable decking materials include:

- Ipe hardwood planks (preferred)
- Other sustainably harvested tropical hardwoods
- Stone slabs (minimum size: 24" square)

The tenant may also be permitted to use concrete pavers provided that they are of appropriate dimension and appearance to demonstrate exceptional quality and creative design.

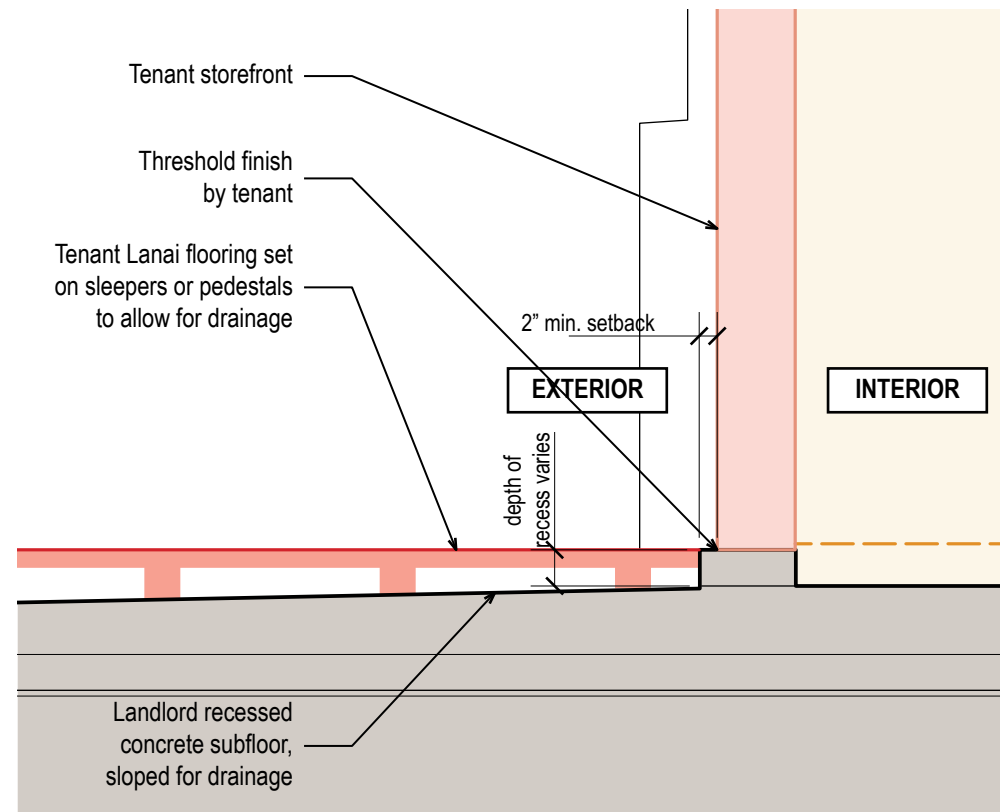
Refer to the technical details in the Landlord lease exhibits and tenant criteria for additional information.



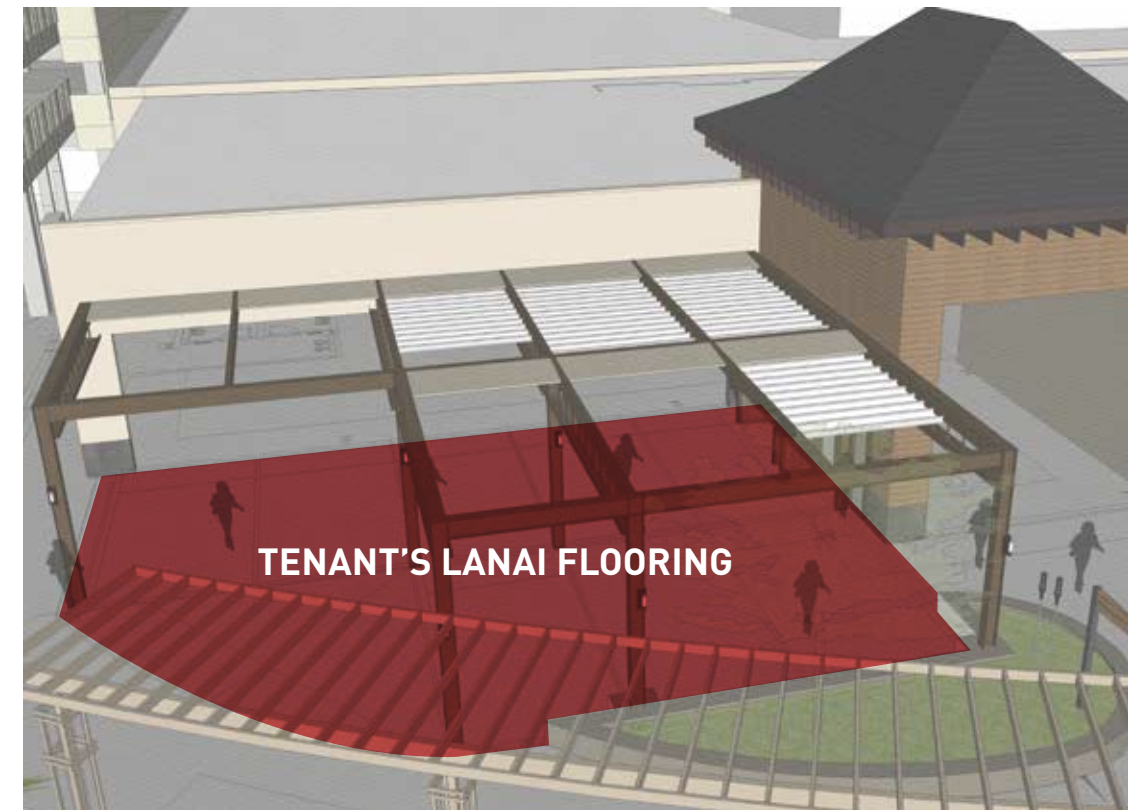
flush set wood decking



tenant exterior floor area - varies by location



Section E) floor section diagram



tenant exterior floor area - varies by location

RETRACTABLE LANAI ROOF SYSTEM

GENERAL

The weather-protected Lanai areas are the distinguishing feature of the Grand Lanai and are key to the design of the tenant's space. By providing the infrastructure for the tenant's Lanai, Landlord has made a significant investment towards the success of the restaurants in creating unique and enticing indoor-outdoor spaces that function throughout the year. The Corradi retractable roof system will enable tenants to extend their dining areas well beyond their walls, create a lively and inviting foreground for their restaurant, and provide customers with a distinctive dining experience.

Landlord is providing the retractable roof system including the structural steel framework to support the roof system. The tenant shall be responsible for the finishing of the Lanai enclosure including column wraps, railings, upper fascia, decorative elements, lighting and sound systems. A successful design will create a Lanai area that is an extension of the tenant's restaurant character, encourages patrons to linger, provides a blend of shade and light; and allows for outdoor dining throughout the year. Restaurants will not be permitted to alter the configuration of the Landlord provided elements.

RETRACTABLE LANAI ROOF SYSTEM

The Landlord provided retractable roof system consists of PVC coated fabric on fixed cross members and supported on rails mounted to the structural steel framework. The fabric roof is motor driven for ease of operation, and smooth and consistent closure. Gutters running below the supporting beams collect rainwater and direct it to floor drains beneath the tenant's Lanai flooring. The tenant's cladding of the steel framework must not impede the operation of the retractable roof in any manner, including the gutters and downspouts.

STRUCTURAL COLUMN ENCLOSURES

Restaurants shall provide permanent, durable cladding of the Landlord steel column framework. The use of natural materials that compliment Hawaiian

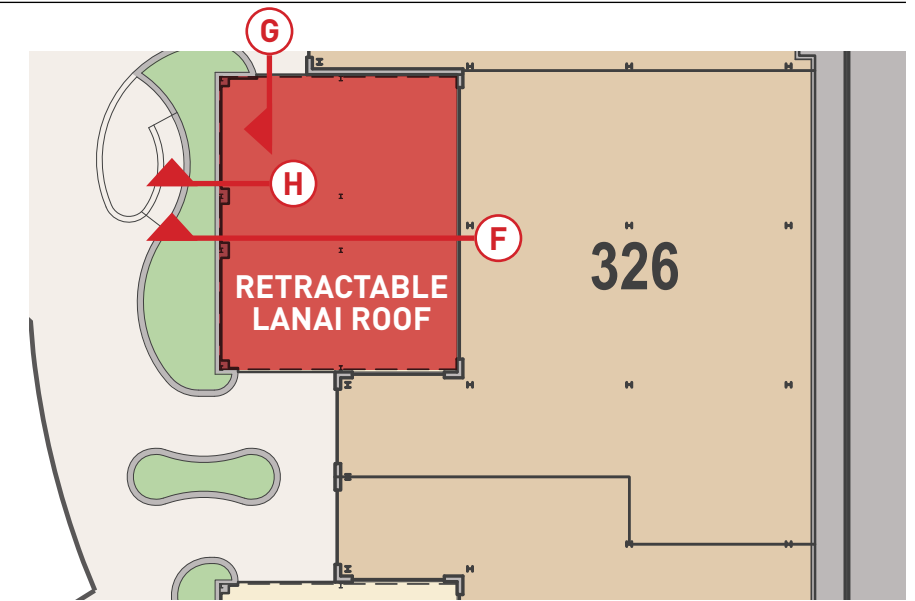
culture and heritage is encouraged. Columns that come to grade require a power-washable base to a minimum height of 10" above finish floor. Stone or other similar durable materials are encouraged at the column base enclosures. Tenant is responsible for finishing and maintaining the waterproof condition where the column wrap intersects with the Landlord provided moss rock walls.

FASCIA

Tenants are encouraged to use the upper structure of the Lanai cover to create a vertical fascia of 2'-0" to 3'-7" in height. This fascia will allow restaurants to bring their brand expression further into the common area and may provide the tenant visibility from the lower levels. Materials used for this fascia should be consistent with the materials used throughout the project and carried forward from the tenant's brand image and storefront expression. The tenant may be permitted to place signs on this fascia in accordance with the sign section of these criteria.

MAINTENANCE

Tenant shall provide maintenance of the retractable roof system utilizing Landlord's contractors, including any tenant improvements. Restaurants shall be responsible for operation of the roof system, opening and closing as needed, including fully retracting the system during high winds per the manufacturer's specifications.



retractable Lanai roof system - varies by location



retractable Lanai roof system - varies by location

RETRACTABLE LANAI ROOF SYSTEM

NOTE

The retractable roof systems shown on this page are for reference only. The system being used for the Grand Lanai level is being tailored by Corradi to meet the specific requirements of International Market Place.

Refer to the technical details in the Landlord lease exhibits and tenant criteria for additional information.



retractable roof partially closed



retractable roof system fully closed



retractable roof fully open

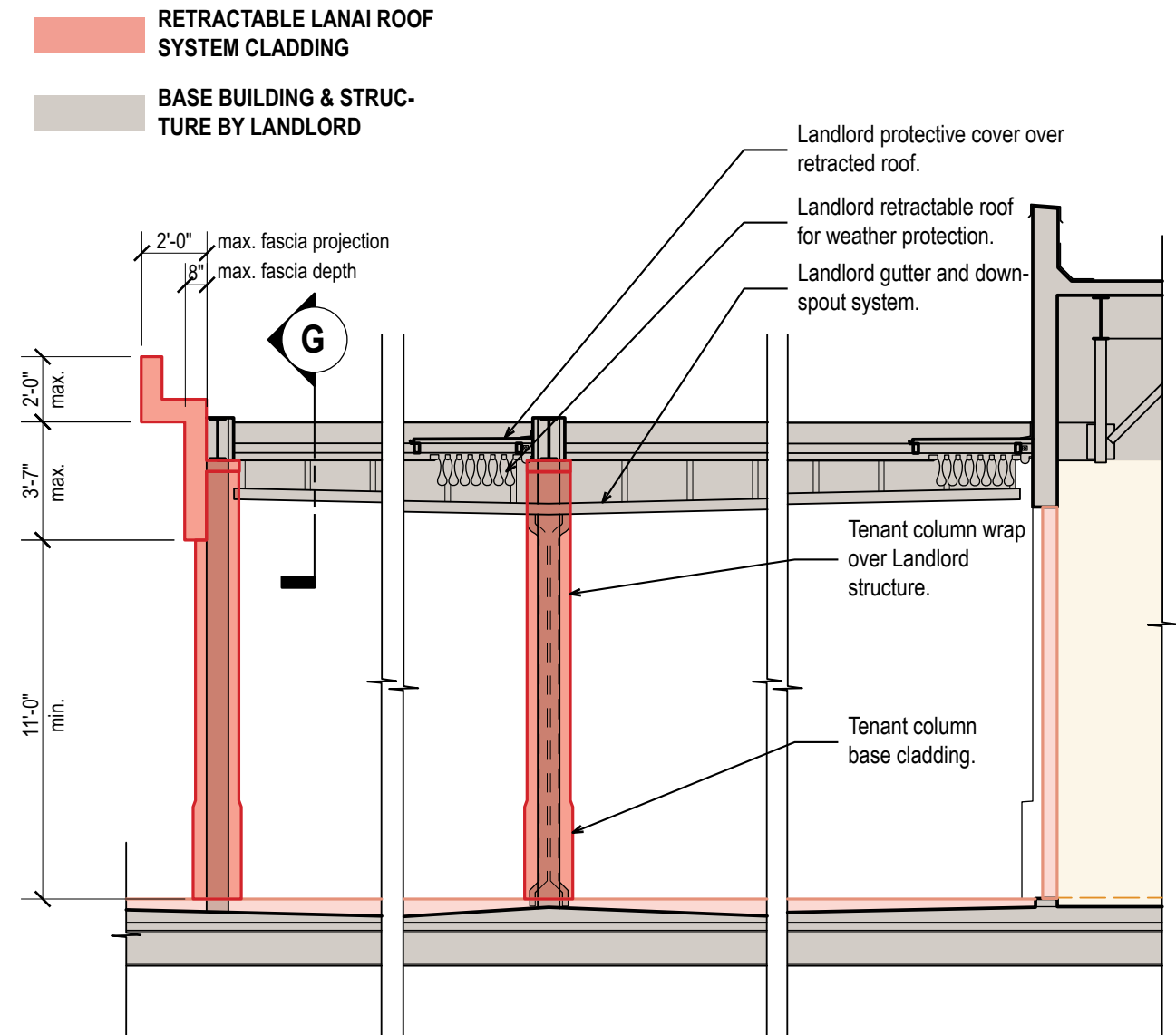


retractable roof system

OPERABLE ROOF SYSTEM & LANAI ENHANCEMENTS

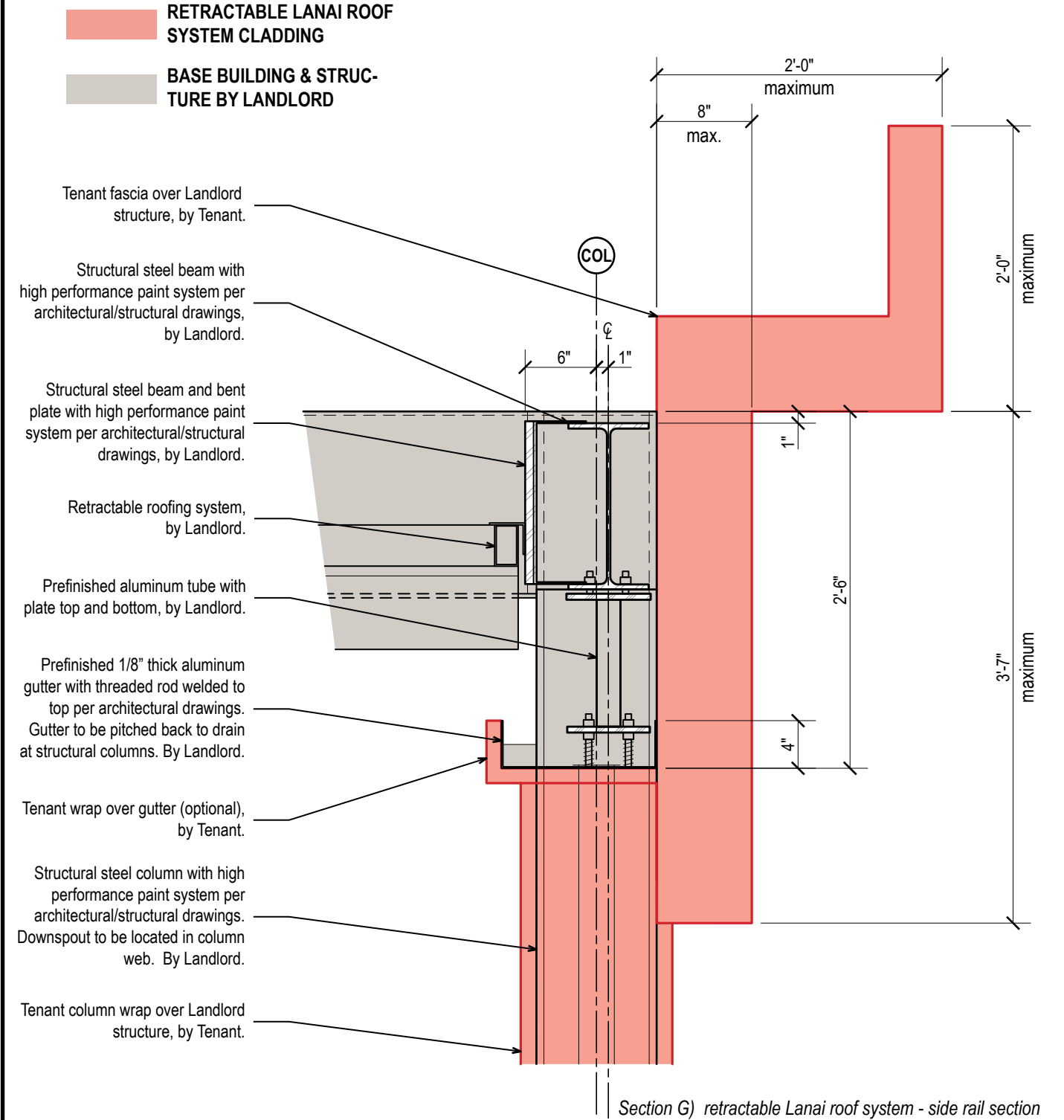
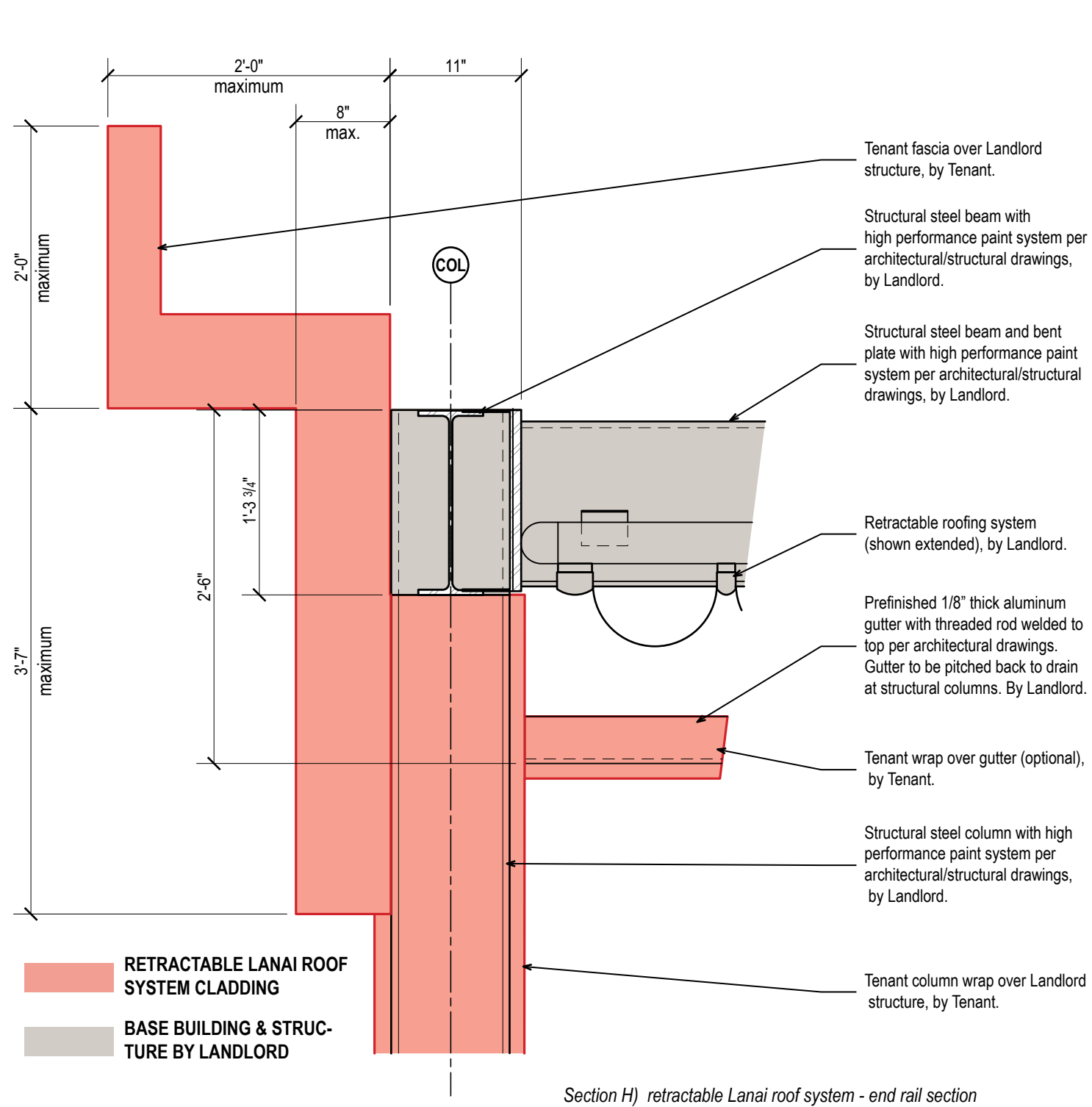
NOTE

Refer to the technical details in the Landlord lease exhibits and tenant criteria for additional information. All dimensions for Landlord provided elements must be verified in the field for accuracy.



Section F) retractable Lanai roof system longitudinal section

OPERABLE ROOF SYSTEM & LANAI ENHANCEMENTS



TENANT SPACE 302

GENERAL

Tenant Space #302 provides a unique opportunity for tenants. Its corner location overlooking Kalakaua Avenue and the project entry affords this space street views and prominence from the street. While this space does not have a retractable roof system, the Landlord is providing for an outdoor dining terrace at the outside corner with a fixed roof for weather protection. The tenant shall be responsible for the finishing of the dining terrace enclosure including column enclosures, railings, flooring, ceiling, decorative elements, lighting and sound systems.

In addition to the outdoor terrace, the tenant must provide design and construction of their entry portal and the storefront system(s) adjacent to the terrace and the opening to the lower levels.

A successful restaurant design will create an exterior expression that is an extension of the tenant's restaurant character, encourages patrons to linger, provides a blend of shade and light; and allows for outdoor dining throughout the year.

Tenants will not be permitted to alter the configuration of the Landlord provided elements.

ENTRY PORTAL

The tenant's entry portal must conform to the general criteria for entry portals. Refer to pages 8 through 10 of this document for requirements.

STOREFRONTS

Hawaii's temperate climate provides the tenant the opportunity to create indoor-outdoor spaces not usually afforded by typical environments. **The design of the tenant's storefront system should provide a maximum of openings to further blur the line between indoors and out.**

The finished fascia above the tenant's storefront will be provided by Landlord and shall not be altered in any way.

A minimum of 75% of the tenant's linear storefront must be glazed, allowing views into and out of the restaurant area. Of this glazed storefront zone, a minimum of 50% must be operable. At the terrace, operable storefronts may be either swinging (French) doors, or folding or stacking closure systems (such as Nanawall or equal). When located above the floor opening (Section K), the operable storefronts may be either a folding or stacking closure system or casement windows. Folding/stacking closure systems must open or stack within the tenant's lease space. Where opaque walls surfaces are used, careful attention must be paid to the composition and materials so as to present a high quality appearance to the public.

MATERIALS AND FINISHES

Materials and finishes for the storefront must enhance the overall restaurant character and be consistent in quality with the overall project. Framing for glazed areas may be wood with a natural finish, steel with a factory applied baked enamel finish, prefinished or anodized aluminum or a combination thereof.

Glazed areas of the storefront less than 8'-0" above the finish floor must use clear glass. Glazing above this height may be permitted to be tinted or opaque, subject to Landlord review and approval. Mirrored glazing and glazing with highly reflective films or tints will not be permitted in any application.

Stone and/or wood veneer wainscotting, fascia, piers and accents are encouraged for opaque wall areas. Rainscreen systems, masonry, concrete and factory finished metals may be used for these applications as well, subject to Landlord review and approval. The tenant's fascia should incorporate layering, multiple materials, and/or varying (complimentary) finishes to provide visual interest. Exterior insulation and finish systems (EIFS) are not permitted.

STRUCTURAL COLUMN ENCLOSURES

Restaurants shall provide permanent, durable cladding of the Landlord steel column framework at the terrace. The use of natural materials that compli-

ment Hawaiian culture and heritage is encouraged. Stone or other similar durable materials are encouraged at the column base enclosures.

RAILINGS

The Landlord is providing a concrete curb at the edge of the tenant's terrace adjacent to the common area floor opening (Section J) upon which the tenant will mount their guardrail. The tenant shall be responsible for the design and construction of the guardrail in compliance with all applicable codes. The tenant is strongly encouraged to use an open rail or glass guardrail system similar to the Landlord's base building railings to maximize transparency and views from the street of the dining area. See page 22 for reference imagery.

TERRACE FLOORING

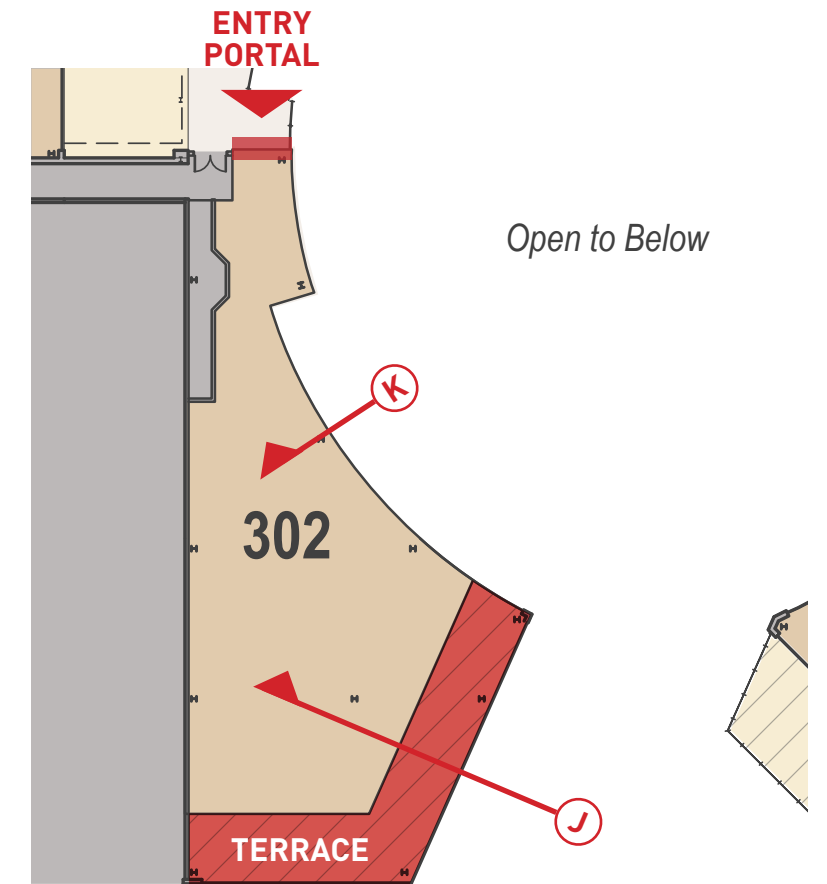
Landlord is providing a recessed concrete slab and drainage at the covered terrace area. The tenant shall be responsible for providing the finish floor materials in these areas in accordance with the following criteria:

Floor treatments should be designed and specified to reinforce the character of the restaurant concept and image. Landlord's concrete slab will be recessed to enable the tenant's decking to be set flush with the surrounding finished flooring. Decking materials must be set on sleepers or pedestals to allow for proper drainage. Sand and/or mortar set pavers are not permissible. Acceptable decking materials include:

- Ipe hardwood planks (preferred)
- Other sustainably harvested tropical hardwoods
- Stone slabs (minimum size: 24" square)

The tenant may also be permitted to use concrete pavers provided that they are of appropriate dimension and appearance to demonstrate exceptional quality and creative design.

Refer to the technical details in the Landlord lease exhibits and tenant criteria for additional information.



Tenant space #302 plan

TENANT SPACE 302

TERRACE CEILING

The tenant shall provide a high quality exterior-rated finish ceiling in the terrace area. The tenant is strongly encouraged to use materials and details for the ceiling finish that are consistent with Hawaiian architecture, keeping in mind that their terrace ceiling will be highly visible from the street below. Grid-type lay in ceiling systems of any type are not permitted.

The tenant may also opt to install a suspended trellis element below the hard ceiling to provide an armature for lighting and ceiling fans, and to provide brand-enhancement. Refer to the image on page 22 for an example of a suspended trellis.

SIGNAGE

Per the municipal code, Grand Lanai level tenants are not permitted to have signs visible from the public right-of-way, including Kalakaua Avenue. All tenant

signs are to be internally oriented. Refer to the signage section of this document for additional information regarding signs (pages 27 and 28).

ADDITIONAL ELEMENTS

Refer to the General Criteria on page 24 for additional information regarding lighting, furniture and amenities.



Tenant space #302 conceptual perspective of terrace



Tenant space #302 conceptual perspective - view from street

TENANT SPACE 302



reference image - landlord's guardrail with glass panel



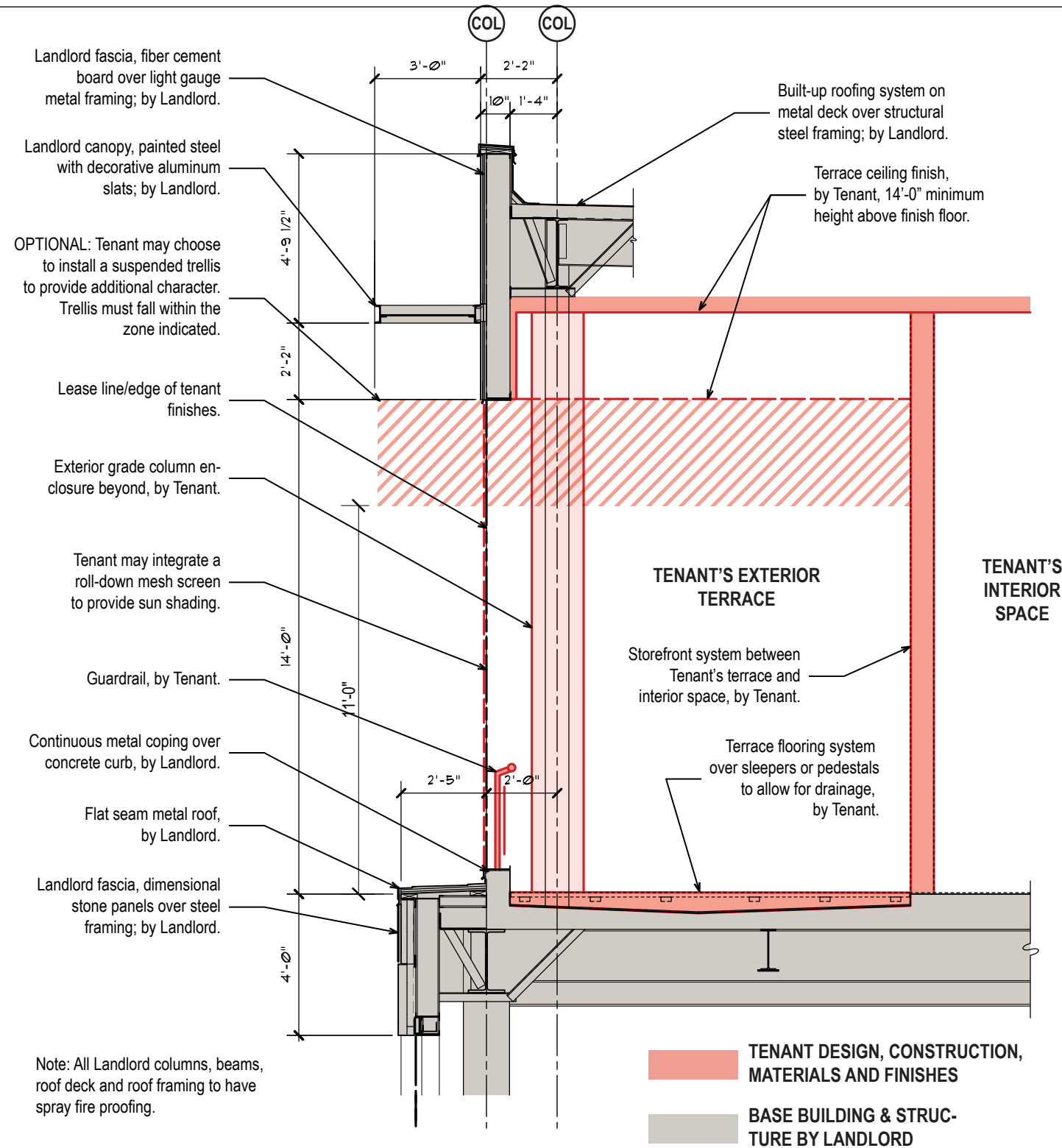
reference image - landlord's guardrail with Hawaiian themed metal panel

SUSPENDED
TRELLIS

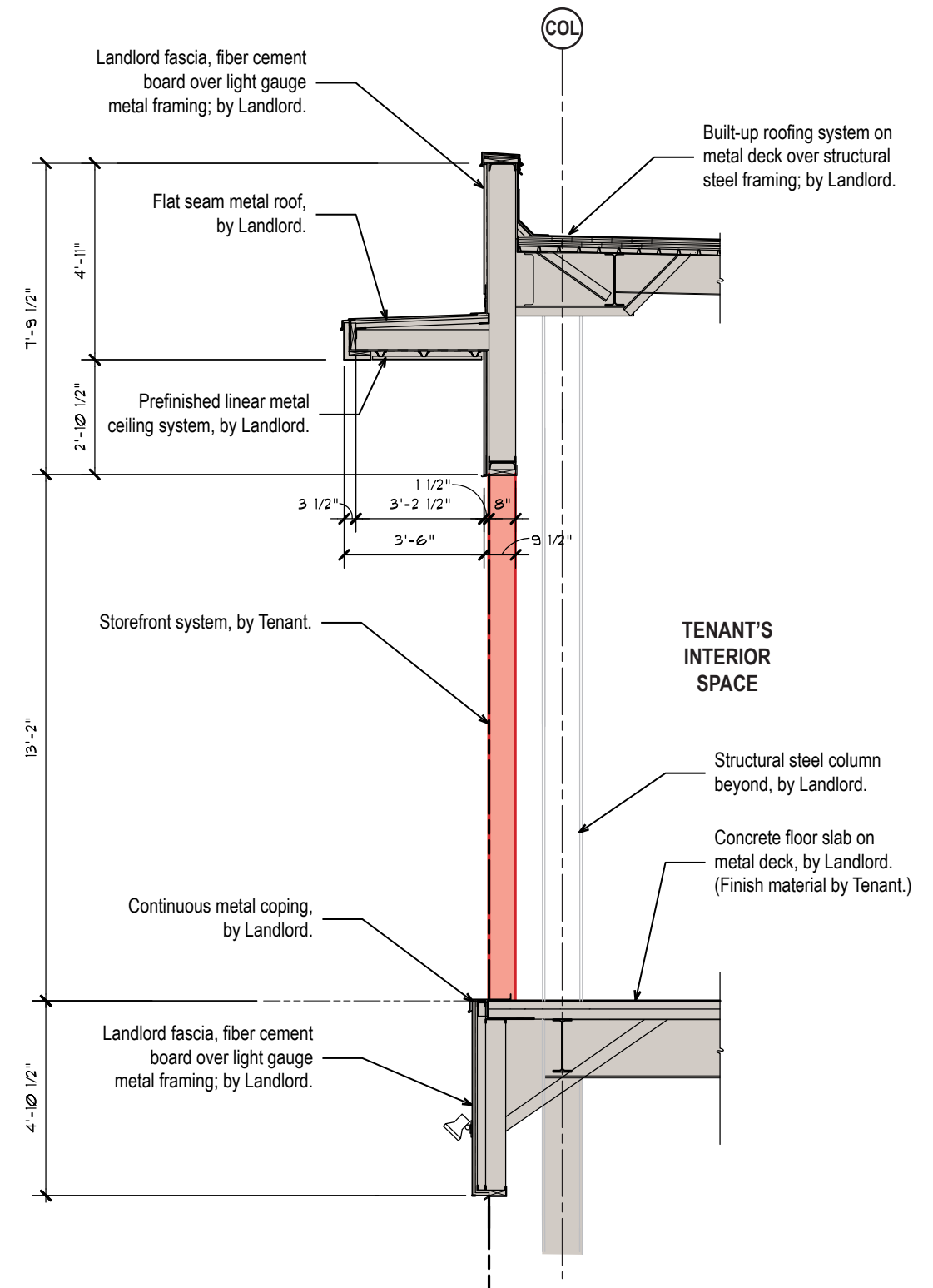


suspended trellis concept image

OPERABLE ROOF SYSTEM & LANAI ENHANCEMENTS



Section J) tenant #302 terrace



Section K) tenant #302 storefront

LANAI - GENERAL CRITERIA

TENANT FIT-OUT

Tenants shall be responsible for the finish and furnishing of both the weather-protected and open-sky Lanai areas as defined in their lease documents.

LIGHTING

The lighting of the tenant's weather-protected Lanai areas requires special consideration given the white vinyl retractable roof. Where possible, the tenant is encouraged to utilize column and soffit mounted fixtures to provide ambient and accent lighting. Ground mounted lights may be acceptable provided that all conduit is concealed within the tenant flooring and is suitably detailed for wet locations. The tenant's light fixtures should compliment their overall brand aesthetic and be exterior rated, commercial grade fixtures. All overhead lighting, such as cable lighting and pendant fixtures, must be carefully designed and installed so as to allow proper operation of the retractable roof.

Lighting levels within the Lanai should be appropriately balanced between adequate ambient lighting for customer comfort without distracting from views into the interior of the restaurant.

RAILINGS

Restaurants shall provide a permanent ornamental guardrail system to enclose the Lanai space. Railings shall be coordinated with the column wraps to create a clean, well-integrated connection. Guardrails must be 36" high and be located within the tenant's defined Lanai seating area. Railings are not required where Landlord's above-grade planters provide a continuous edge to the Lanai space.

FURNITURE & AMENITIES

All exterior amenities must be durable and rated for exterior commercial use. Exterior amenities are subject to Landlord review and approval and must be maintained in a first-class manner. Exterior amenities should be readily movable and cannot impede or restrict the required or desired pedestrian pathways as established by Landlord.

Restaurants must provide outdoor seating in the covered Lanai areas. Tenants are encouraged to use a variety of seating types (table height, bar height, soft seating, group seating, etc.) in their design solution to accommodate a variety of customer groups and types. Seating should be an extension of the tenant's brand and should respond to the restaurant's menu and service type.

Should cables and locks be used to secure furniture overnight, all hardware must be discreet and fully removed during business hours.

ADDITIONAL AMENITIES

Tenants may opt to provide additional amenities within their Lanai, including:

- ceiling fans
- heaters
- fire features
- water features
- potted plants
- wind-resistant umbrellas
- sound system
- code compliant devices

As with the seating, all miscellaneous amenities must be rated for exterior commercial use. Overhead features such as fans and umbrellas must maintain appropriate clearance from the retractable roof system to allow for proper operation of the roof. All services to the tenant's amenities, such as electrical, natural gas or propane, and plumbing, must be concealed within the tenant's finishes.



richly finished wood furniture with Hawaiian or Asian influences



well detailed Lanai concept



comfortable and eclectic seating groups



Lanai with retractable roof



modern casual seating groups with fire feature element

LANAI - GENERAL CRITERIA



base building by Landlord



tenant's Lanai conceptual build-out - example

Tenant's improvements to include:

- A** Decorative cantilevered cornice
- B** Fascia to wrap the overhead structure
- C** Column wraps to enclose the vertical structure
- D** Furniture and amenities
- E** Railings to enclose the seating areas
- F** Finish flooring within the Lanai

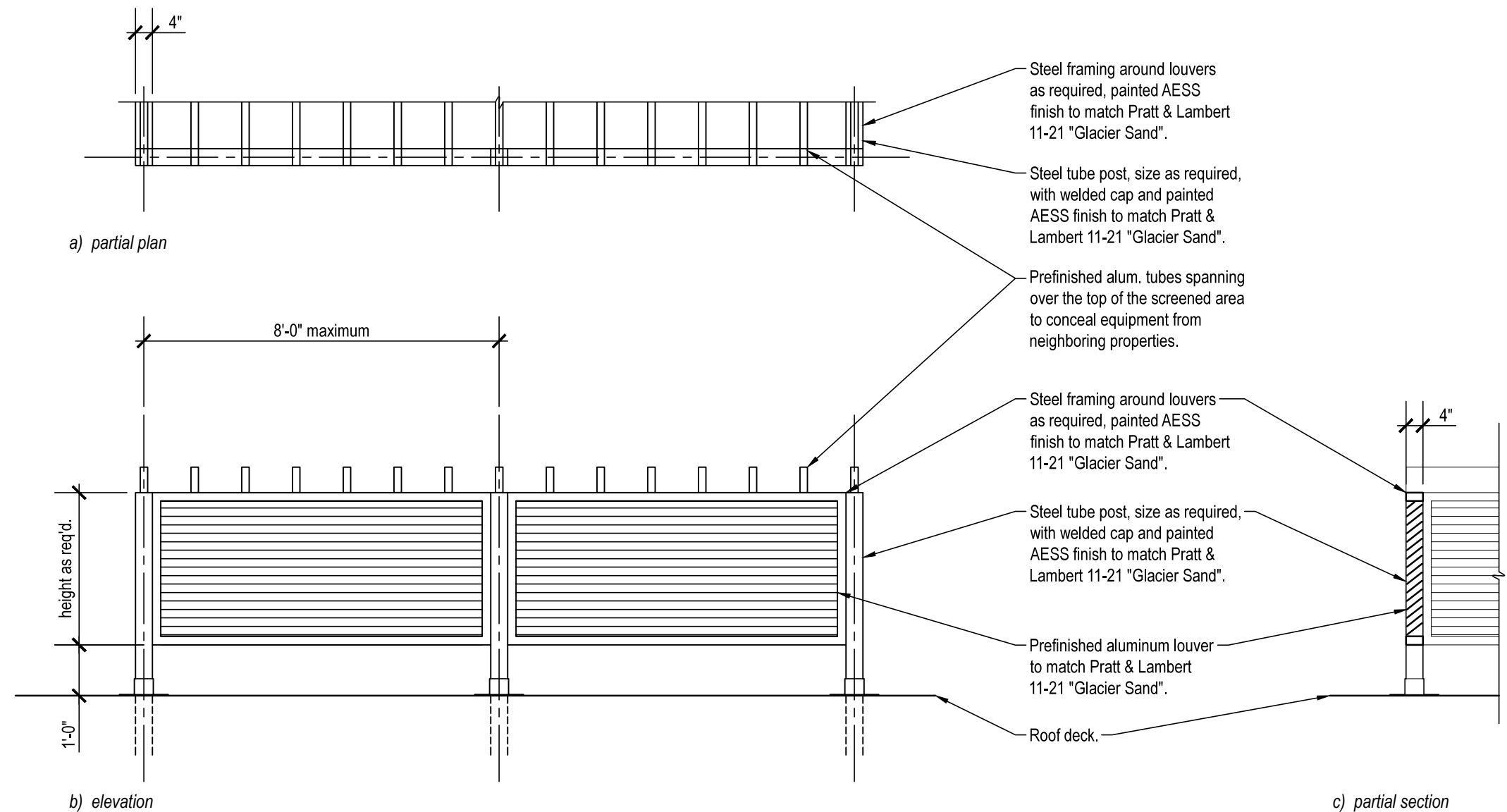
Equipment screening design intent has been previously approved by City/County of Honolulu, Department of Planning and Permitting.
 Tenants drawings shall have Plan View showing rooftop screening, and include the following note:
 "This equipment screening design and specific color matches that approved by DPP per 2015/ ELOG-2723."

ROOFTOP MECHANICAL SCREENING

GENERAL

Local code requires that all rooftop mechanical units be screened. The screens shown here are diagrammatic and are intended to compliment the louver system being built by the Landlord at the project skylights. Tenants are responsible for determining the size, placement and detailing of their screens based upon their mechanical unit requirements and for verifying their screen system is in compliance with all local codes.

Mechanical unit screens shall be constructed of painted steel tubing with prefinished aluminum louvers. Tenants are responsible for coordination with project Architect of Record (AOR) for the proper installation of the screens, including structural connections and waterproofing of any roof penetrations.



diagrams for rooftop mechanical unit screens

SIGNAGE CRITERIA

GENERAL

Third level Grand Lanai tenants are not permitted to have signs that are visible from the public right-of-way. Tenants are permitted to have inward-facing signs, subject to the following criteria governing the size, location, illumination and material selections for the tenant's signs. All exterior signs must work in conjunction with the storefront to project the restaurant's brand **and** enhance the overall character and appearance of the center. Sign size, character, typography, composition, illumination, and height are important factors that make every storefront sign unique.

PRIMARY & AUXILIARY SIGNS

Restaurant tenants are permitted a maximum of four signs: One Primary Identity Sign to be located on the tenant's entry portal, and three Auxiliary signs. The Primary Identity Sign can be mounted to the tenant's entry portal wall above or to the side of the entry doors, or mounted to the tenant's canopy. Auxiliary signs may consist of Fascia or Window signs and can be mounted to the tenant's Lanai fascia or column wraps, the storefront system or as supplemental messages on the entry portal. Tenants are not permitted to mount signs on any of the Landlord's surfaces.

For the purposes of these criteria, movable signs, such as sandwich boards, of up to 6 square feet in area, restaurant hours graphics of up to 1.5 square feet; and menu displays of up to 1 square foot in area shall not be counted against tenant's sign count. Flashing or moving signs, exposed illumination (other than neon), box signs with plastic faces, and vacuum-formed signs are prohibited.

ACCEPTABLE FORMATS FOR PRIMARY SIGNS:

1. Surface-applied dimensional metal letters with indirect illumination
2. Push-through, illuminated lettering (should project beyond background surface 1/2" minimum)
3. Channel-lit lettering (LED or neon in a metal can with translucent plastic letter faces)

4. Reverse channel-lit lettering (i.e., pin mounted and back-illuminated) mounted on a non-reflective background surface.

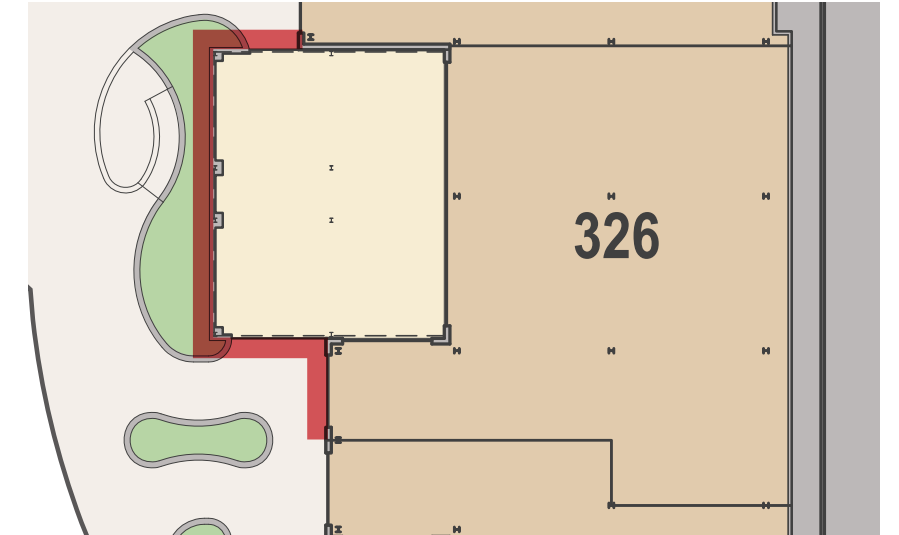
ACCEPTABLE FORMATS FOR AUXILIARY SIGNS:

1. Lanai Fascia mounted signs should adhere to the formats for Primary Signs as listed above.
2. Window graphics can be used on the tenant's storefront or entry portal. Graphics must be applied to the second surface of the tenant's glazing and may be plotter cut vinyl, precision painted graphics, or gold, silver or copper leaf.

SIGN AREA & DIMENSIONAL REQUIREMENTS

All tenants' signs must adhere to the following dimensional requirements:

1. Wall mounted Primary Signs are limited to 24 square feet maximum area. Individual letters shall not exceed 2'-0" in height.
2. Canopy mounted Primary Signs are limited to 15 square feet maximum area and cannot exceed 80% of the width of the canopy face to which they are mounted. Individual letters shall not exceed 1'-6" in height.
3. Fascia mounted Secondary Signs are limited to 15 square feet maximum area per sign. Individual letters shall not exceed 1'-6" in height.
4. Window logo graphics may be up to 8" in height, individual letters shall not exceed 3" in height.



potential tenant sign locations - varies by location



tenant sign concept - varies by location

SIGNAGE CRITERIA



Wall Mounted Sign: Halo Illuminated Reverse Pan Channel Letters



Wall Mounted Sign: Push-through Acrylic Letters



Wall Mounted Sign: Push-through acrylic letters with opaque faces



Window Graphics: Translucent Applied Vinyl Letters



Window Graphics: Precision Cut Vinyl Letters



Window Graphics: Letters Reverse Cut from Frosted Vinyl



Wall Mounted Sign: Channel Letters with Indirect (Spot) Illumination



Canopy Sign: Panel with letters mounted to the canopy face



Canopy Sign: Panel with letters mounted to the canopy face



Window Graphics: Precision Cut Vinyl Letters



Window Graphics: Well Designed Product Listing Vinyl



Window Graphics: Precision Cut Vinyl Letters